

EXHIBIT C

84 290914

<u>Unit #</u>	<u>Parking Space #</u>	<u>Unit #</u>	<u>Parking Space #</u>
101	64	121	56
201	63	221	55
102	66	122	29
202	65	222	30
103	80	123	28
203	79	223	27
104	78	124	52
204	77	224	51
105	74	125	54
205	73	225	53
106	76	126	48
206	75	226	47
107	72	127	50
207	71	227	49
108	62	128	26
208	61	228	25
109	60	129	22
209	59	229	21
110	46	130	24
210	45	230	23
111	41	131	20
211	42	231	19
112	44	132	18
212	43	232	17
113	36	133	13
213	35	233	14
114	38	134	16
214	37	234	15
115	40	135	12
215	39	235	11
116	67	136	10
216	68	236	9
117	69	137	7
217	70	237	8
118	34	138	5
218	33	238	6
119	32	139	1
219	31	239	2
120	58	140	3
220	57	240	4

Unofficial Document

268-20
6-5-84

268
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LEGEND

- 123 UNIT NUMBER (TYPICAL)
- (A) TYPE OF UNIT (TYPICAL)
- 7 BUILDING DESIGNATION (TYPICAL)
- P-123 PATIO NUMBER (TYPICAL)
- RESTRICTED COMMON AREA
- PS-42 ASSIGNED PARKING STALL (TYPICAL)
- U UNASSIGNED PARKING STALL
- B-223 BALCONY NUMBER (TYPICAL)

HORIZONTAL REGIME FOR VENTANA CONDOMINIUMS

DEDICATION

STATE OF ARIZONA } SS
COUNTY OF MARICOPA }

KNOW ALL MEN BY THESE PRESENTS:

THAT DEVELOPERS FINANCIAL GROUP, AN ARIZONA GENERAL PARTNERSHIP, AS OWNER, HAS SUBDIVIDED UNDER THE NAME OF VENTANA CONDOMINIUMS A HORIZONTAL PROPERTY REGIME SITUATED IN THE EAST HALF OF THE SOUTHWEST QUARTER, OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 2 NORTH, RANGE 3 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA AS SHOWN AND PLATTED HEREON, AND HEREBY PUBLISHES THIS PLAT AS AND FOR THE PLAT OF SAID VENTANA CONDOMINIUMS, A HORIZONTAL PROPERTY REGIME AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATIONS AND GIVES THE DIMENSIONS OF THE UNITS, AND THE COMMON ELEMENTS CONSTITUTING SAME AND THAT EACH UNIT SHALL BE KNOWN BY THE NUMBER GIVEN TO EACH UPON SAID PLAT. THE INTERNAL ROADWAY SHOWN HEREON IS HEREBY DEDICATED AS A PRIVATE ACCESSWAY. THIS PLAT IS AN INTEGRAL PART OF THE HORIZONTAL PROPERTY REGIME KNOWN AS VENTANA CONDOMINIUMS, CREATED UNDER THE DECLARATION OF HORIZONTAL PROPERTY REGIME FOR VENTANA CONDOMINIUMS.

IN WITNESS WHEREOF: DEVELOPERS FINANCIAL GROUP, AN ARIZONA GENERAL PARTNERSHIP, AS OWNER, HAS HEREUNTO CAUSED ITS NAME TO BE AFFIXED, AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF ITS GENERAL PARTNERS, THEREUNTO DULY AUTHORIZED.

DEVELOPERS FINANCIAL GROUP, AN ARIZONA GENERAL PARTNERSHIP

BY DEVELOPERS FINANCIAL GROUP, INC., GENERAL PARTNER

BY *Robert A. Ballard*, PRESIDENT

BY GARY SPORE, INC., GENERAL PARTNER

BY *Gary Spore*, PRESIDENT

ACKNOWLEDGEMENT

STATE OF ARIZONA } SS
COUNTY OF MARICOPA }

ON THIS, THE 25th DAY OF May, 1984, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED ROBERT A. BALLARD, WHO ACKNOWLEDGED HIMSELF TO BE ~~President~~ PRESIDENT OF DEVELOPERS FINANCIAL GROUP, INC., AN ARIZONA CORPORATION, GENERAL PARTNER OF DEVELOPERS FINANCIAL GROUP, AN ARIZONA GENERAL PARTNERSHIP, AS OWNER, AND ACKNOWLEDGED THAT HE, AS SUCH OFFICER, BEING AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF: I HEREBUNTO SET MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES 9-8-85

BY *Northa S. Brueckhardt*, NOTARY PUBLIC

STATE OF ARIZONA } S
COUNTY OF MARICOPA }

ON THIS, THE 25th DAY OF May, 1984, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED GARY SPORE, WHO ACKNOWLEDGED HIMSELF TO BE PRESIDENT OF GARY SPORE, INC., AN ARIZONA CORPORATION, GENERAL PARTNER OF DEVELOPERS FINANCIAL GROUP, AN ARIZONA GENERAL PARTNERSHIP, AS OWNER, AND ACKNOWLEDGED THAT HE, AS SUCH OFFICER, BEING AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

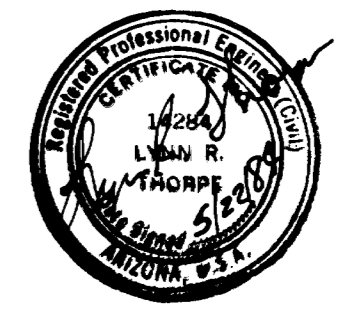
IN WITNESS WHEREOF: I HEREBUNTO SET MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES 9-8-85

BY *Northa S. Brueckhardt*, NOTARY PUBLIC

CERTIFICATION

This is to certify that the survey and plat with the profile elevations of the premises described and platted hereon were made under my direction during the month of April, 1984, and consists of 2 sheets.

BY *John R. Thorpe*, P.E. Date 5/22/84
14284



PETER A. LENDRUM ASSOCIATES PLANNERS ENGINEERS ARCHITECTS
2920 EAST CAMELBACK ROAD, PHOENIX, ARIZONA 85016 (602) 955-2100

VENTANA CONDOMINIUMS

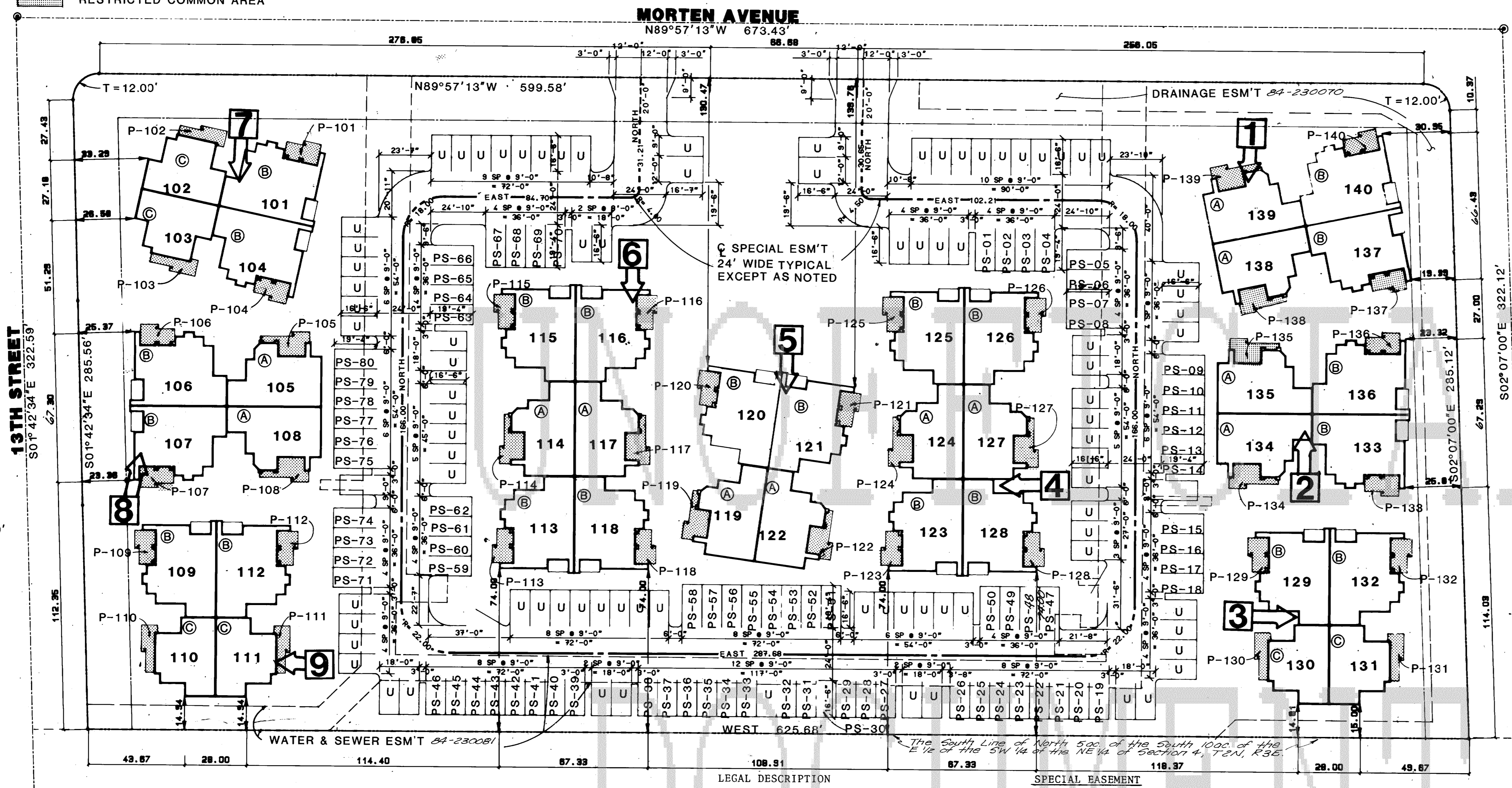
JOB NUMBER 8945-05
DATE 4/84
DRAWN C.M.D.
CHECKED L.R.T.
SHEET TITLE

TITLE SHEET & FIRST FLOOR SITE PLAN

SCALE 1" = 30'
REVISIONS

DRAWING NUMBER

1 of 5



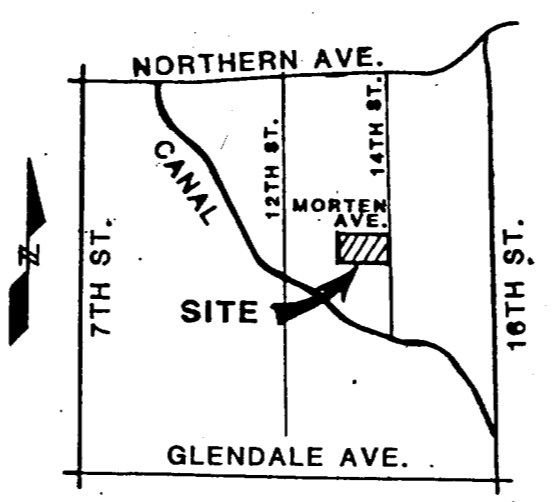
LEGAL DESCRIPTION
THAT PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MONUMENT LINE INTERSECTION OF 14TH STREET AND MORTEN AVENUE;
THENCE, NORTH 89°57'13" WEST, ALONG THE MONUMENT LINE OF MORTEN AVENUE, A DISTANCE OF 36.08 FEET;
THENCE, SOUTH 00°02'47" WEST, A DISTANCE OF 25.00 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A DELTA ANGLE OF 87°50'13" AND A RADIUS OF 12.46 FEET;
THENCE, ALONG ARC OF SAID CURVE A DISTANCE OF 19.10 FEET TO A POINT LYING ON THE WEST RIGHT-OF-WAY (R.O.W.) LINE OF 14TH STREET;
THENCE, SOUTH 02°07'00" EAST, ALONG SAID R.O.W. BEING PARALLEL WITH AND 25.00 FEET WEST OF THE MONUMENT LINE OF 14TH STREET, A DISTANCE OF 285.12 FEET;
THENCE, WEST, A DISTANCE OF 625.68 FEET TO A POINT LYING ON THE EAST R.O.W. LINE OF 13TH STREET;
THENCE, NORTH 01°42'34" WEST ALONG SAID R.O.W. BEING PARALLEL WITH AND 25.00 FEET EAST OF THE MONUMENT LINE OF 13TH STREET, A DISTANCE OF 285.56 FEET TO A POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A DELTA ANGLE OF 91°45'21" AND A RADIUS OF 11.64 FEET;
THENCE, ALONG ARC OF SAID CURVE A DISTANCE OF 18.64 FEET TO A POINT LYING ON THE SOUTH R.O.W. LINE OF MORTEN AVENUE;
THENCE, SOUTH 89°57'13" EAST, ALONG SAID R.O.W. BEING PARALLEL WITH AND 25.00 FEET SOUTH OF THE MONUMENT LINE OF MORTEN AVENUE, A DISTANCE OF 599.58 FEET TO THE TRUE POINT OF BEGINNING;
SAID PARCEL HAVING 185,559 S.F. OR 4.2598 ACRES NET DEPENDING ON R.O.W. AND EASEMENTS OF RECORD.

SPECIAL EASEMENT
THERE IS HEREBY CREATED A BLANKET EASEMENT UPON, ACROSS, OVER AND UNDER ROADWAYS AS SPECIALLY DESCRIBED ON THIS PLAT FOR INGRESS, EGRESS, EMERGENCY VEHICLE TRAFFIC AND GARBAGE DISPOSAL AND PICK UP. THIS EASEMENT SHALL IN NO WAY AFFECT ANY OTHER RECORDED EASEMENT ON SAID PREMISES.

The undersigned, as lien holder under that certain Deed of Trust, dated October 24, 1983, and recorded October 27, 1983, at recording Number 83 432484, hereby ratifies and consents to this plat and each and every dedication made hereon.
Sun State Savings and Loan Association

BY: *Gary Spore*, General Partner
State of Arizona ss
County Maricopa ss
On this, the 25th day of MAY, 1984, before me, the undersigned officer, personally appeared *Gary Spore* and *Robert A. Ballard* and who acknowledged themselves to be the General Partner and President of SUN STATE SAVINGS AND LOAN ASSOCIATION, respectively being authorized so to do, executed the foregoing instrument for the purpose therein contained by signing the name of the corporation, by themselves as such officers, respectively.
My Commission Expires: 1/25/85
Northa S. Brueckhardt
Notary Public



VICINITY MAP

ELEVATIONS TABLE - 1ST FLOOR

UNIT NO.	FIN FLR	PATIO FIN FLR	FIN. CEILING	UNIT NO.	FIN FLR	PATIO FIN FLR	FIN. CEILING
101	1249.10	1248.77	1257.10	123	1250.30	1249.97	1258.30
102	1249.10	1248.77	1257.10	124	1251.30	1250.97	1259.30
103	1249.10	1248.77	1257.10	125	1251.30	1250.97	1259.30
104	1249.10	1248.77	1257.10	126	1251.30	1250.97	1259.30
105	1249.10	1248.77	1257.10	127	1251.30	1250.97	1259.30
106	1249.10	1248.77	1257.10	128	1250.30	1249.97	1258.30
107	1249.10	1248.77	1257.10	129	1250.80	1250.47	1258.80
108	1249.10	1248.77	1257.10	130	1250.80	1250.47	1258.80
109	1249.10	1248.77	1257.10	131	1250.80	1250.47	1258.80
110	1249.10	1248.77	1257.10	132	1250.80	1250.47	1258.80
111	1249.10	1248.77	1257.10	133	1251.40	1251.07	1259.40
112	1249.10	1248.77	1257.10	134	1251.40	1251.07	1259.40
113	1249.70	1249.37	1257.70	135	1251.40	1251.07	1259.40
114	1250.70	1250.37	1258.70	136	1251.40	1251.07	1259.40
115	1250.70	1250.37	1258.70	137	1251.80	1251.47	1259.80
116	1250.70	1250.37	1258.70	138	1251.80	1251.47	1259.80
117	1250.70	1250.37	1258.70	139	1251.80	1251.47	1259.80
118	1249.70	1249.37	1257.70	140	1251.80	1251.47	1259.80
119	1250.30	1249.97	1258.30				
120	1250.30	1249.97	1258.30				
121	1250.30	1249.97	1258.30				
122	1250.30	1249.97	1258.30				

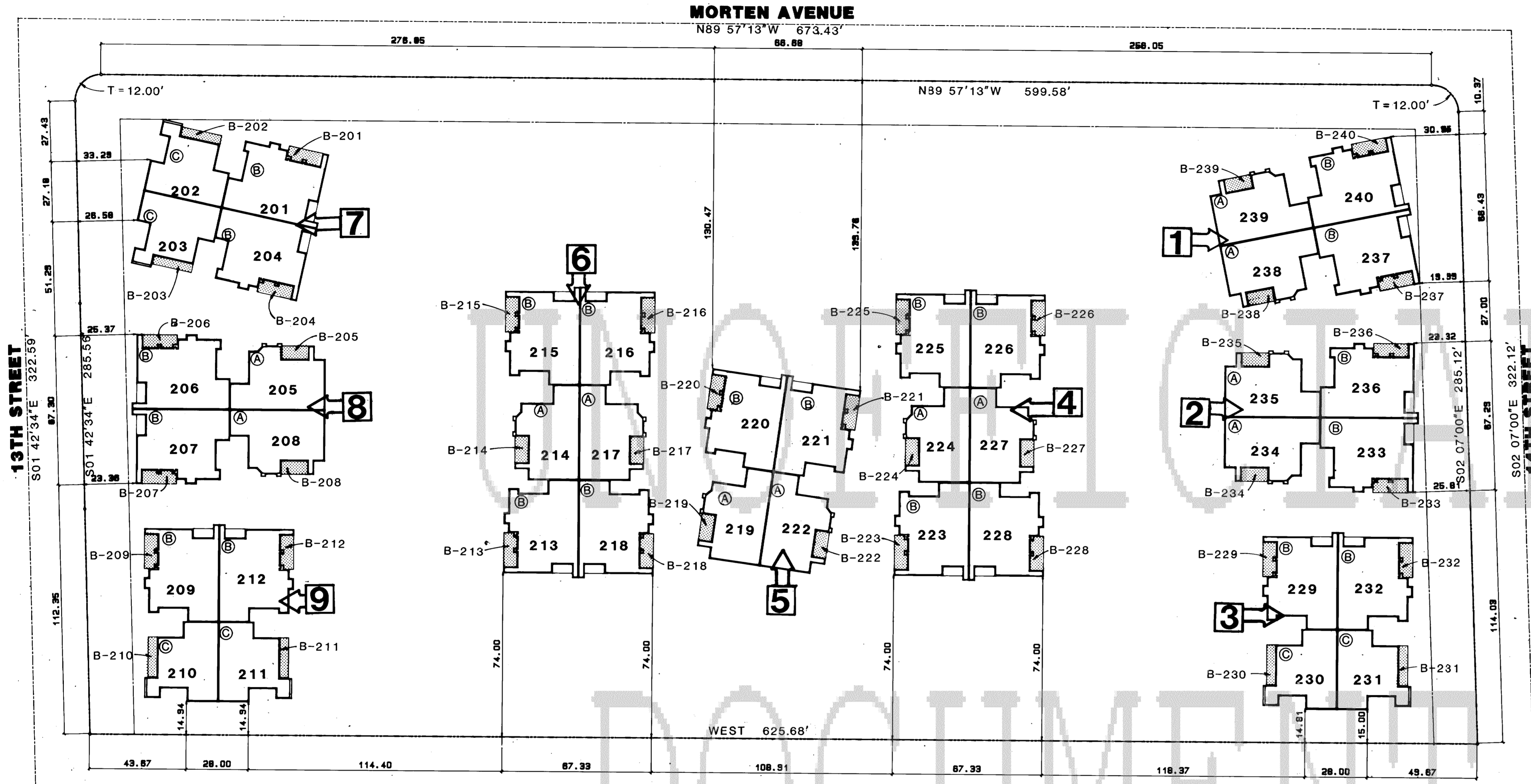
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6-5-84

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ELEVATIONS TABLE - 2ND FLOOR

UNIT NO.	FIN FLR	PATIO FIN FLR	UNIT NO.	FIN FLR	PATIO FIN FLR
201	1258.25	1257.96	223	1259.45	1259.16
202	1258.25	1257.96	224	1260.45	1260.16
203	1258.25	1257.96	225	1260.45	1260.16
204	1258.25	1257.96	226	1260.45	1260.16
205	1258.25	1257.96	227	1260.45	1260.16
206	1258.25	1257.96	228	1259.45	1259.16
207	1258.25	1257.96	229	1259.95	1259.66
208	1258.25	1257.96	230	1259.95	1259.66
209	1258.25	1257.96	231	1259.95	1259.66
210	1258.25	1257.96	232	1259.95	1259.66
211	1258.25	1257.96	233	1260.55	1260.26
212	1258.25	1257.96	234	1260.55	1260.26
213	1258.85	1258.56	235	1260.55	1260.26
214	1259.85	1259.56	236	1260.55	1260.26
215	1259.85	1259.56	237	1260.95	1260.66
216	1259.85	1259.56	238	1260.95	1260.66
217	1259.85	1259.56	239	1260.95	1260.66
218	1258.85	1258.56	240	1260.95	1260.66
219	1259.45	1259.16			
220	1259.45	1259.16			
221	1259.45	1259.16			
222	1259.45	1259.16			

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VENTANA
CONDOMINIUMS

JOB NUMBER
8945-05
DATE
4/84
DRAWN
C.M.D.
CHECKED
L.R.T.
SHEET TITLE

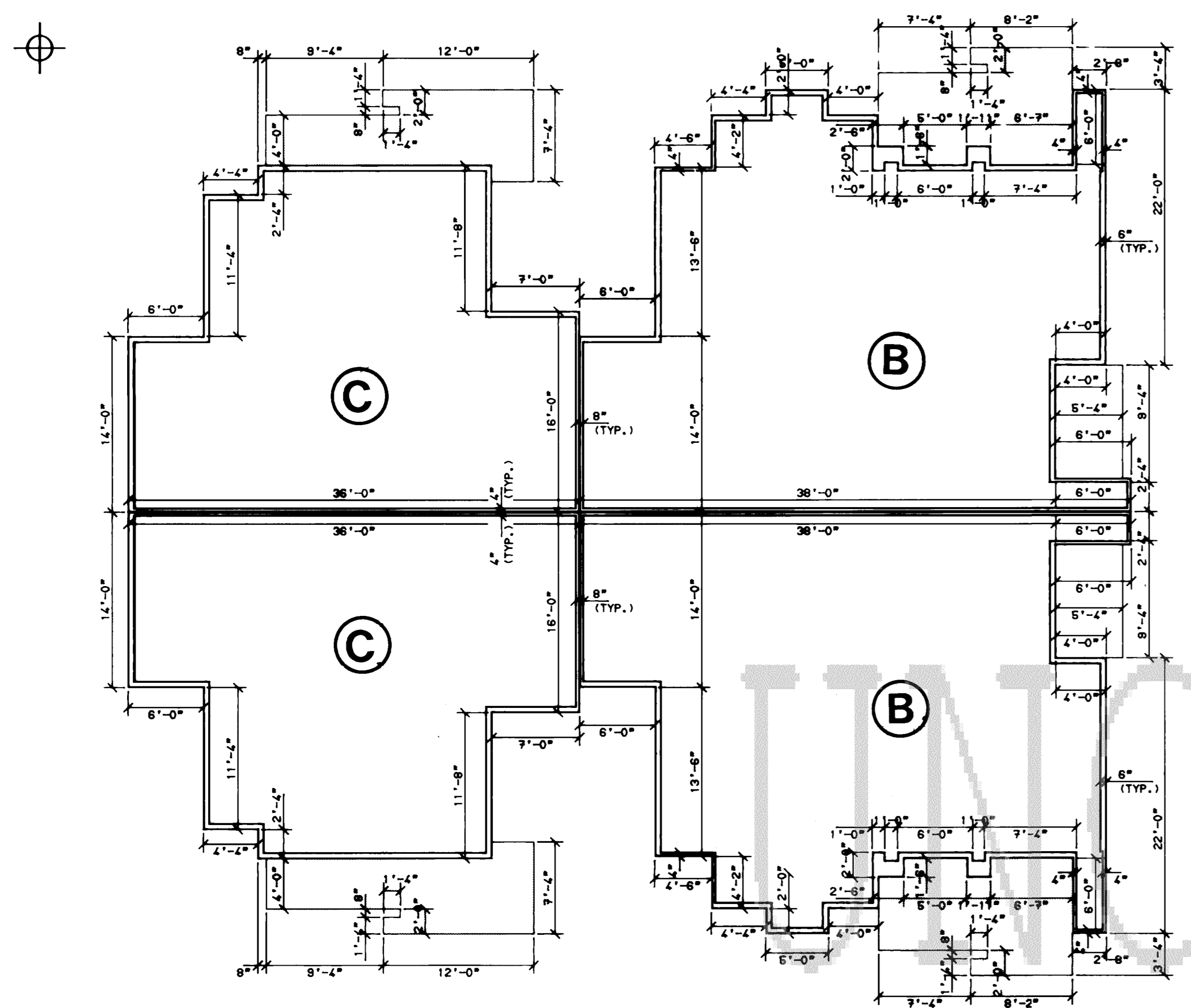
SECOND FLOOR
SITE PLAN

SCALE
1" = 30'
REVISIONS

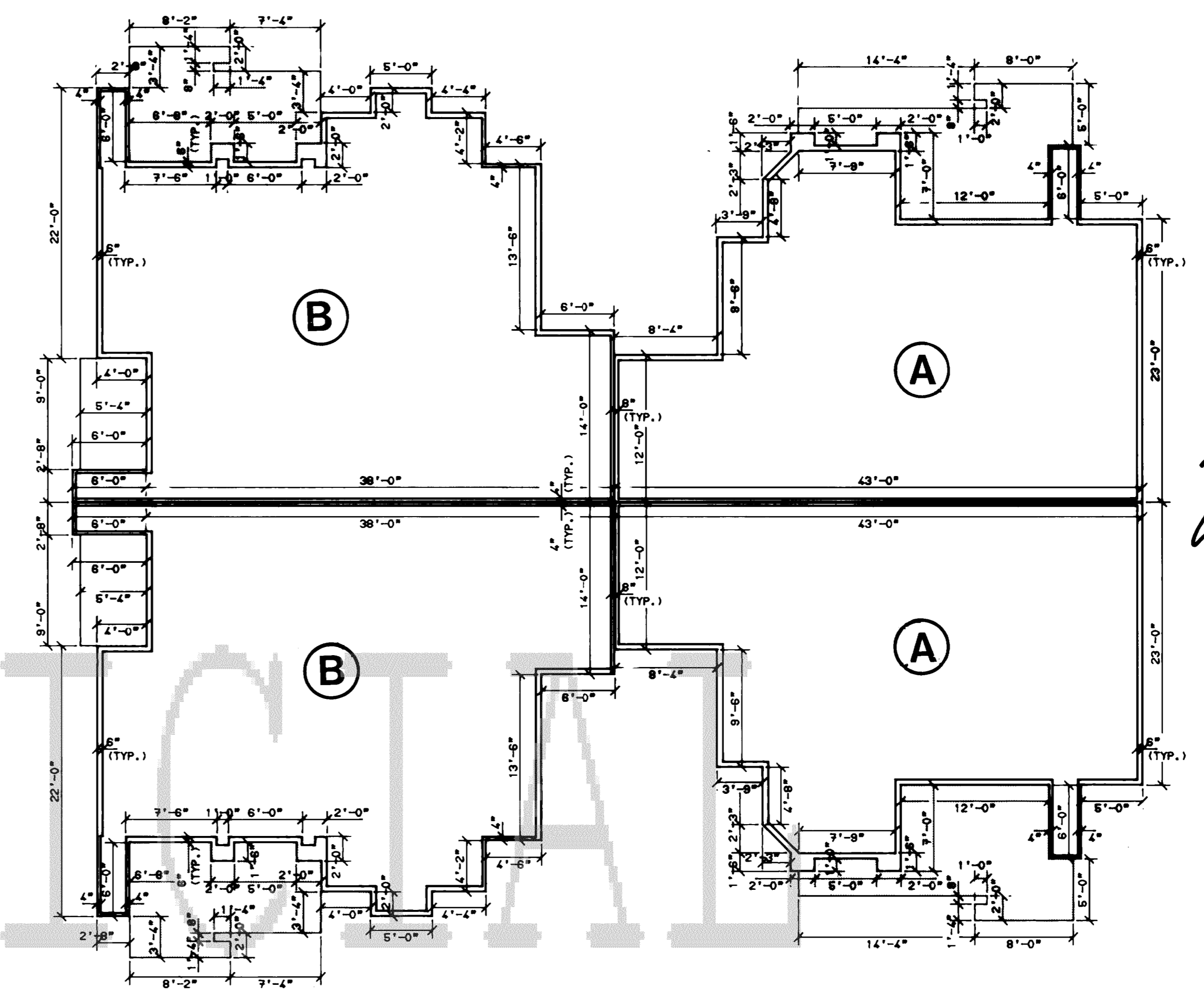
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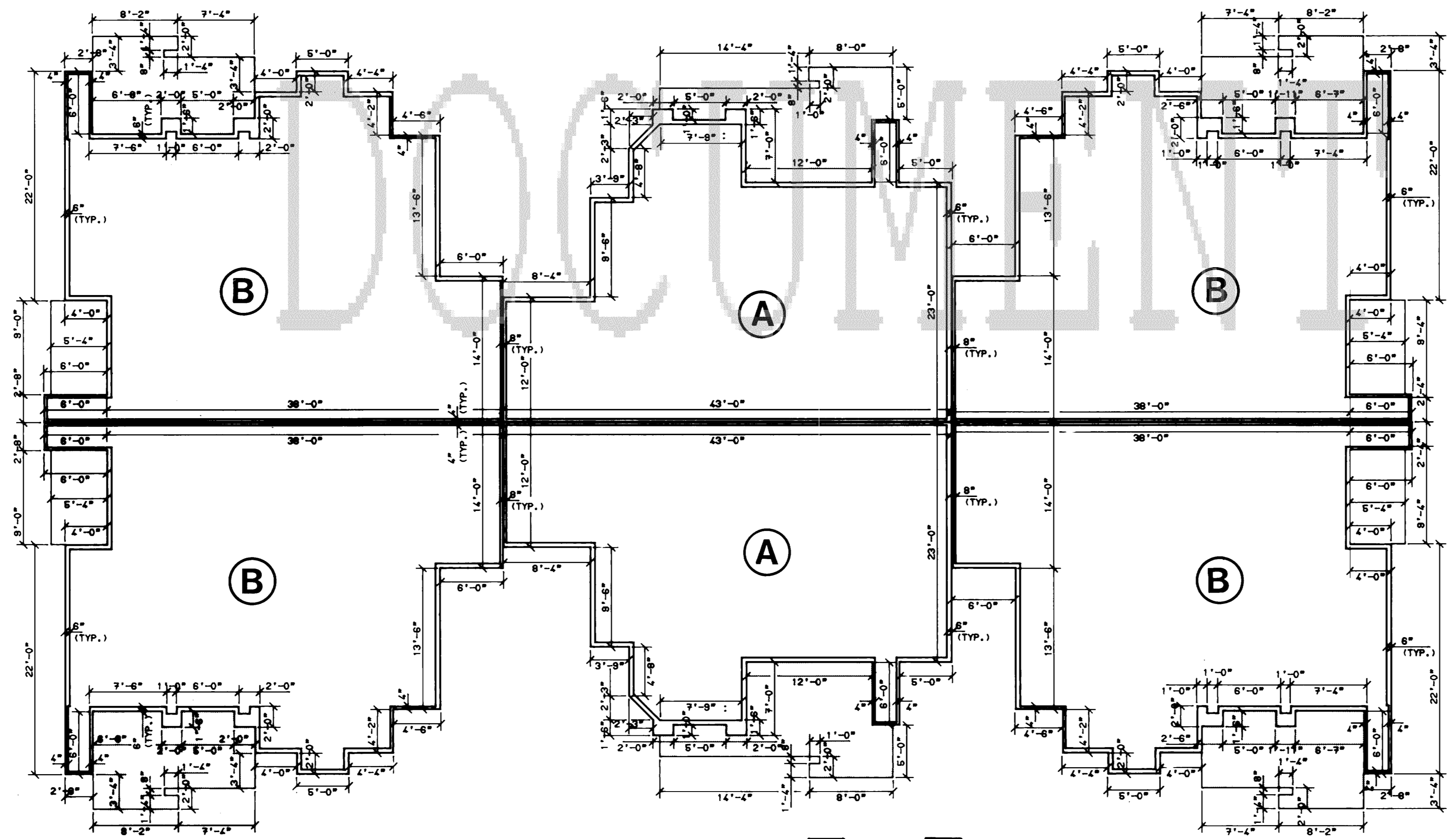


BUILDINGS 3, 7, & 9
FIRST FLOOR



BUILDINGS 1, 2, 5, & 8
FIRST FLOOR

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BUILDINGS 4 & 6
FIRST FLOOR

PETER A. LENDRUM ASSOCIATES
ARCHITECTS ENGINEERS PLANNERS
2820 EAST CAMELBACK ROAD, PHOENIX, ARIZONA 85016 (602) 955-2100

VENTANA
CONDOMINIUMS

JOB NUMBER
8945-05
DATE
4/84
DRAWN
C.M.D.
CHECKED
L.R.T.
SHEET TITLE

FIRST FLOOR PLANS

SCALE
1/8" = 1'-0"
REVISIONS

DRAWING NUMBER

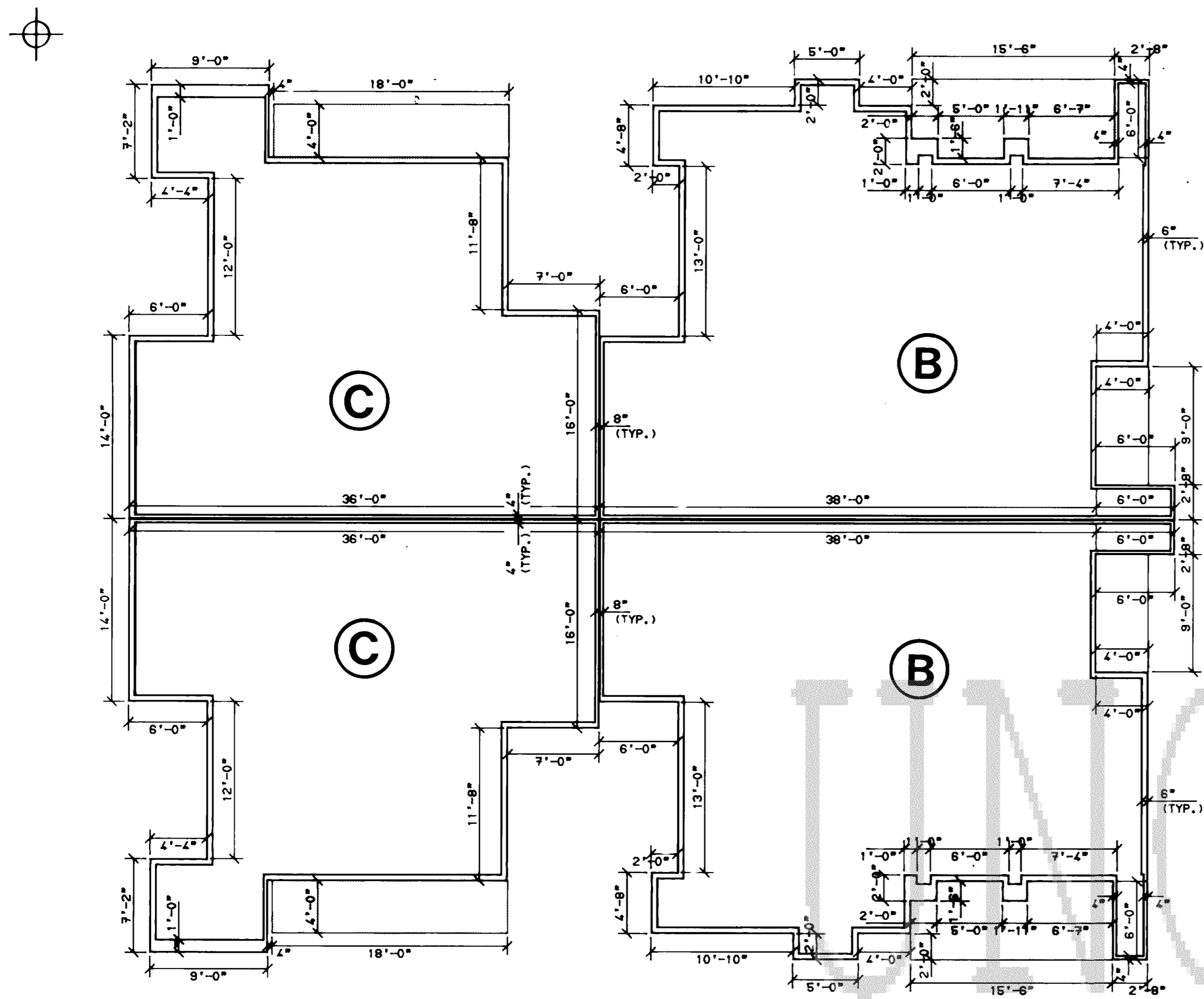
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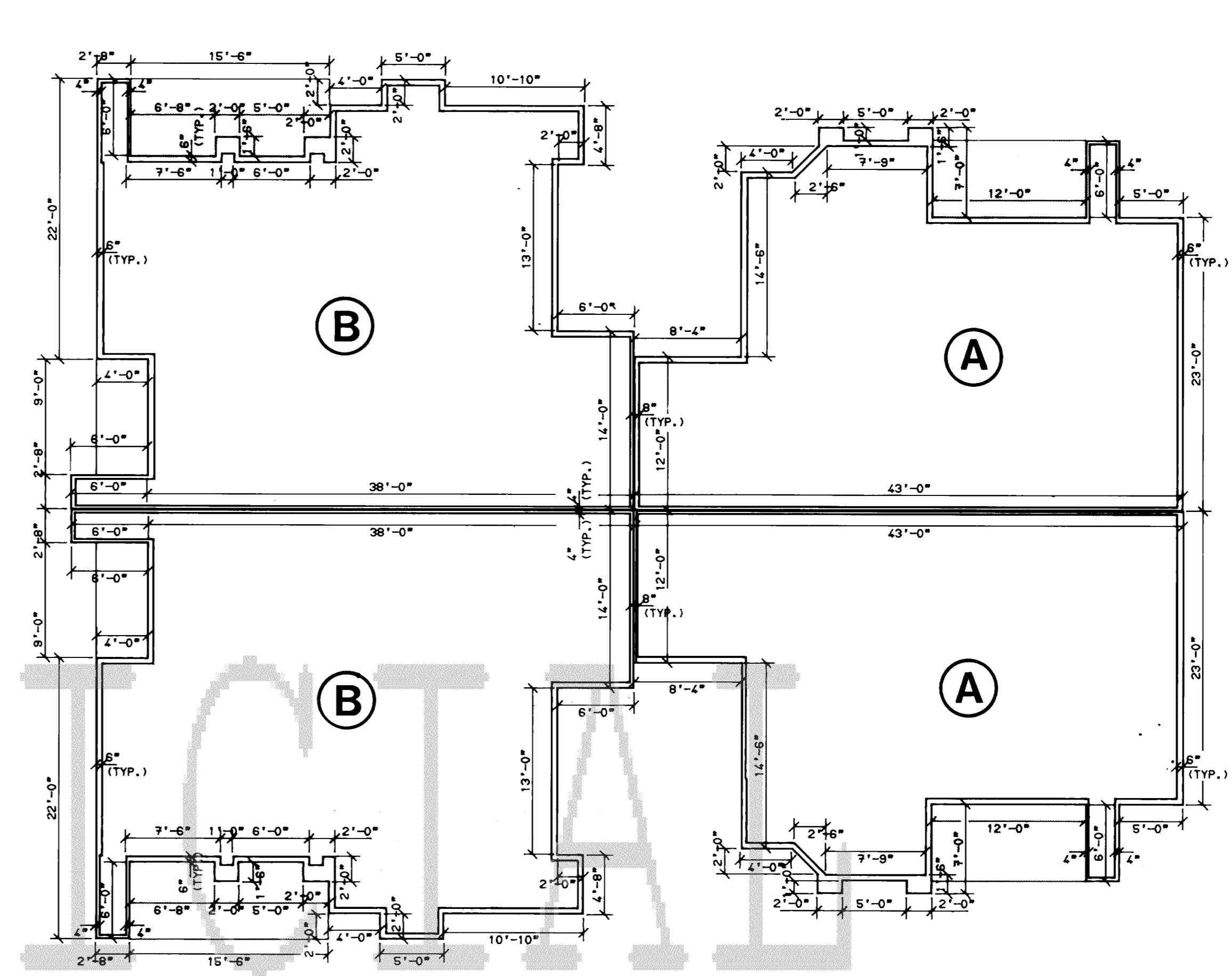
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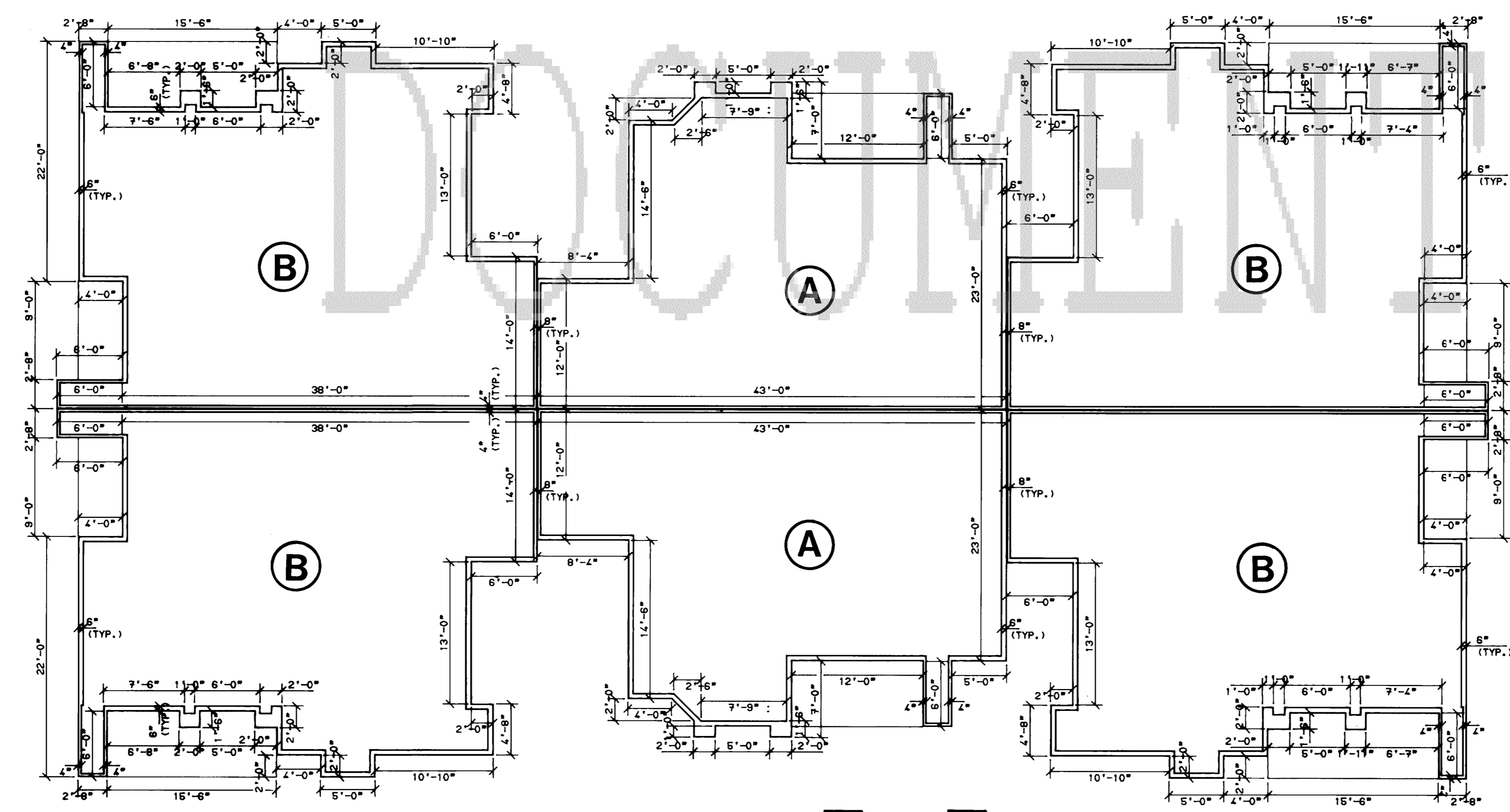


BUILDINGS 3, 7, & 9
SECOND FLOOR



BUILDINGS 1, 2, 5, & 8
SECOND FLOOR

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BUILDINGS 4 & 6
SECOND FLOOR

PETER A. LENDRUM ASSOCIATES
ARCHITECTS
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2920 EAST CAMELBACK ROAD, PHOENIX, ARIZONA 85016 (602) 955-2100

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SECOND FLOOR PLANS

SCALE
SCALE: 1/8" = 1'-0"
REVISIONS

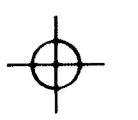
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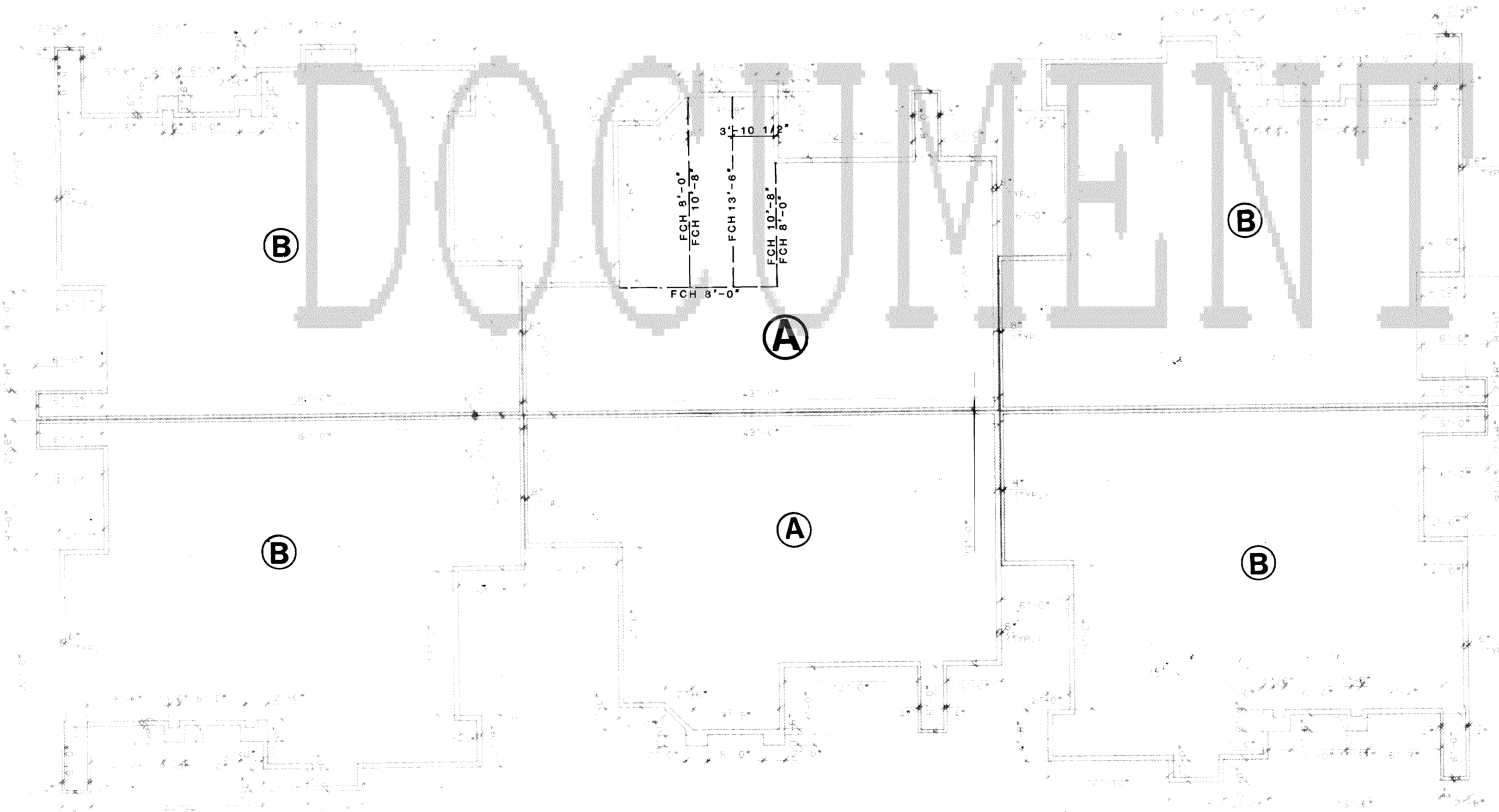


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TYPICAL © UNIT CEILING PLAN
SECOND FLOOR

TYPICAL © UNIT CEILING PLAN
SECOND FLOOR

NOTE:
FOR TYPICAL CEILING PLANS SHOWN
FIN. CEILING HEIGHT IS 8'-0" ABOVE
FIN. FLR. EXCEPT AS SHOWN.



LEGEND
FCH FINISH CEILING HEIGHT

TYPICAL © UNIT CEILING PLAN
SECOND FLOOR

PETER A. LENDRUM ASSOCIATES
ENGINEERS
ARCHITECTS
PLANNERS
2820 EAST CAMELBACK ROAD, PHOENIX, ARIZONA 85016 (602) 955-2100

VENTANA
CONDOMINIUMS

JOB NUMBER	8945-05
DATE	4/84
DRAWN	C.M.D.
CHECKED	L.R.T.
SHEET TITLE	SECOND FLOOR TYPICAL CEILING PLANS
SCALE	SCALE 1/8" = 1'-0"
REVISIONS	

DRAWING NUMBER

268-20

268-20