

UNSUBDIVIDED

THOMAS ROAD

N.E. CORNER SEC. 33 BENCH MARK BC. IN H.H. ELEV. 1094.03

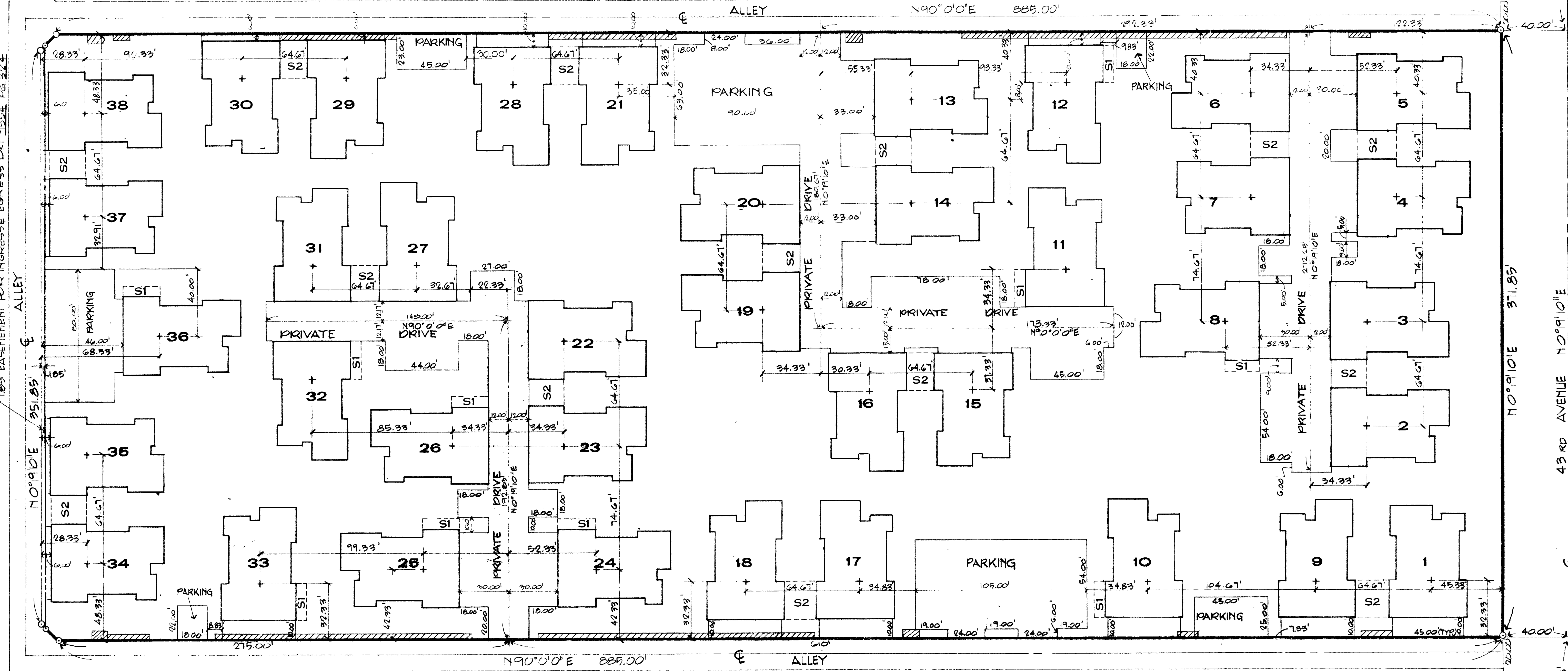
154-30

LEGEND

- INDICATES CORNER OF PLAT - SET IRON PIPE
- ▭ INDICATES AREAS FOR PARKING AND PRIVATE DRIVES
- ▨ PUBLIC UTILITY EASEMENT
- +

NORTH

SCALE 1" = 30'



UNSUBDIVIDED

105' EASEMENT FOR INGRESS & EGRESS DKT. 1524 PG. 224

UNSUBDIVIDED

VIRGINIA AVENUE

S.E. COR. NE 1/4 NE 1/4 SEC. 33

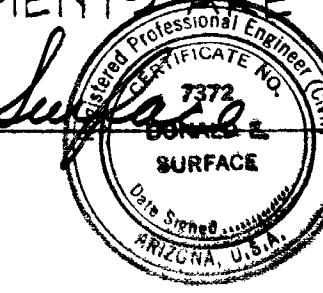
WOODMAR IV

A CONDOMINIUM DEVELOPMENT AS DESCRIBED IN BK. 152 PG. 42, M.C.R. & SITUATED IN SECTION 33 T.2N. R.2E. G. & S.R.B. & M. MARICOPA COUNTY, ARIZONA

ENGINEER'S CERTIFICATE

I, DONALD E. SURFACE, HEREBY CERTIFY THAT I AM A REGISTERED CIVIL ENGINEER IN THE STATE OF ARIZONA. THAT THIS MAP, CONSISTING OF TWO SHEETS, CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF MAY 1972; THAT THE SURVEY IS COMPLETE AND TRUE AS SHOWN; THAT ALL THE MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Donald E. Surface
DONALD E. SURFACE PE



9-22-72
DATE

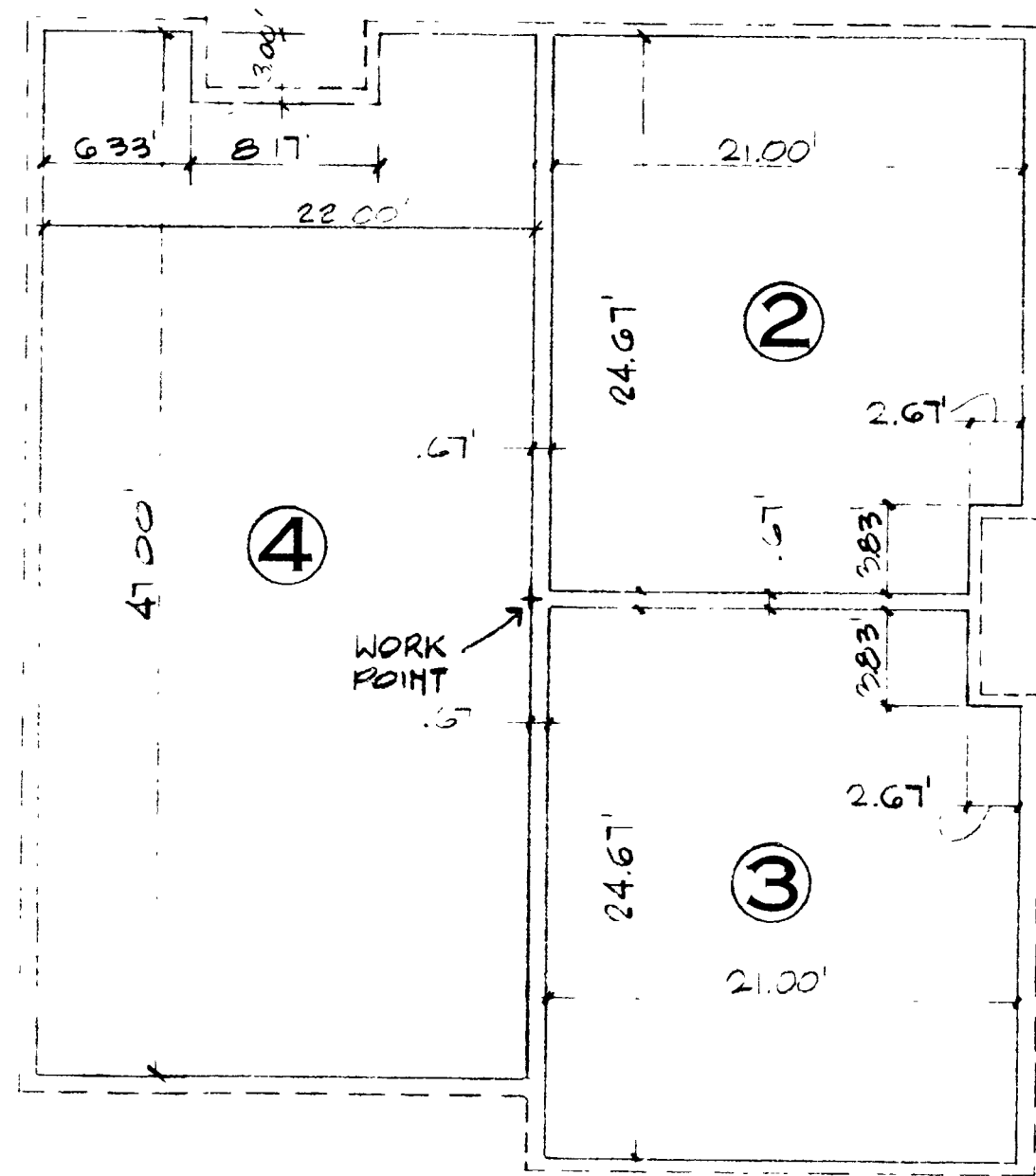
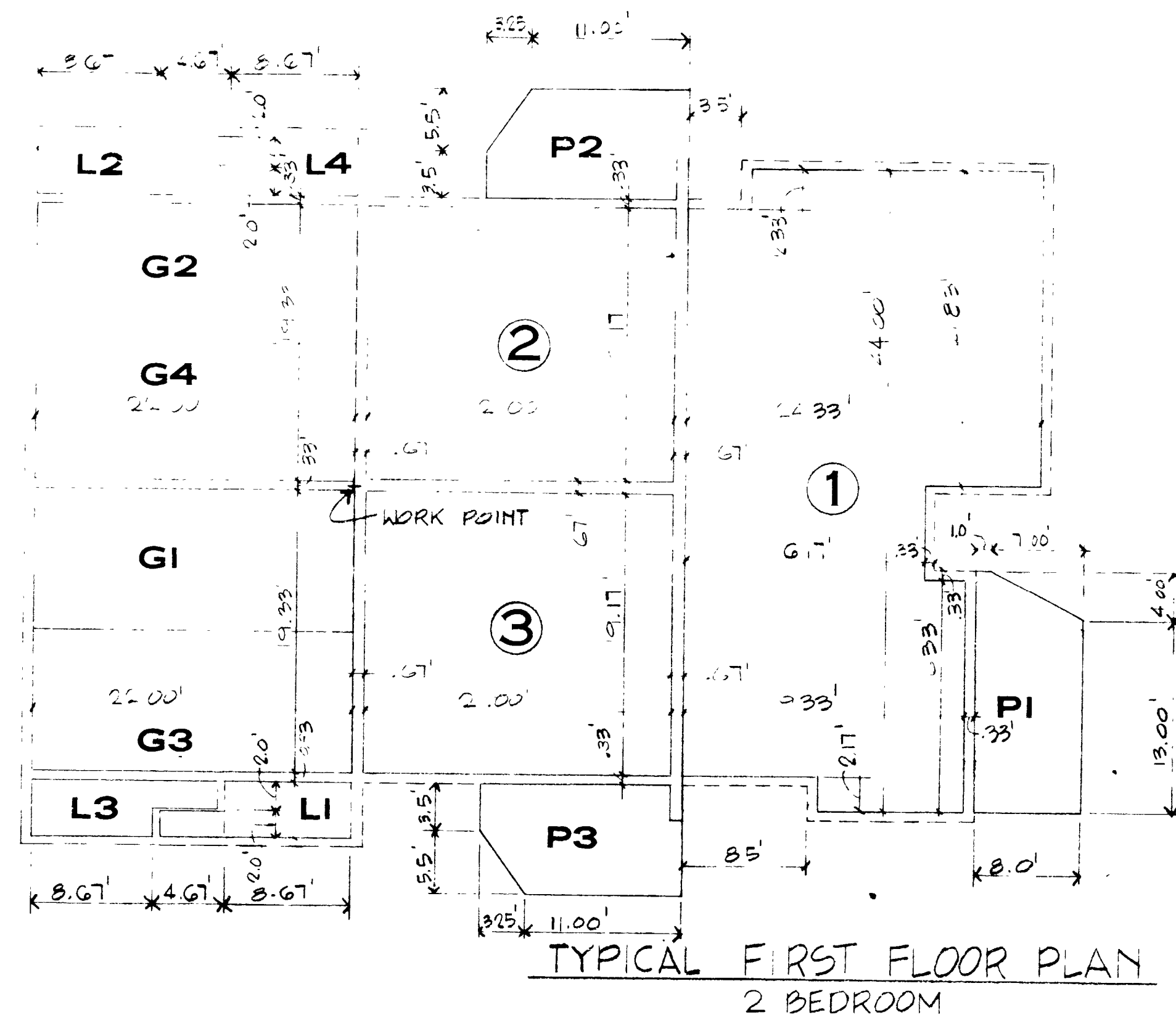
INDEXED PAGE

STATE OF ARIZONA
County of Maricopa
I hereby certify that the within instrument was filed and recorded, at request of
Haver, Nunn & Nelson
SEP 26 1972-8 45
in District Book-154
on page 30
Witness my hand and official seal this 26th day of September, 1972.
By *[Signature]*
County Recorder
Deputy Recorder

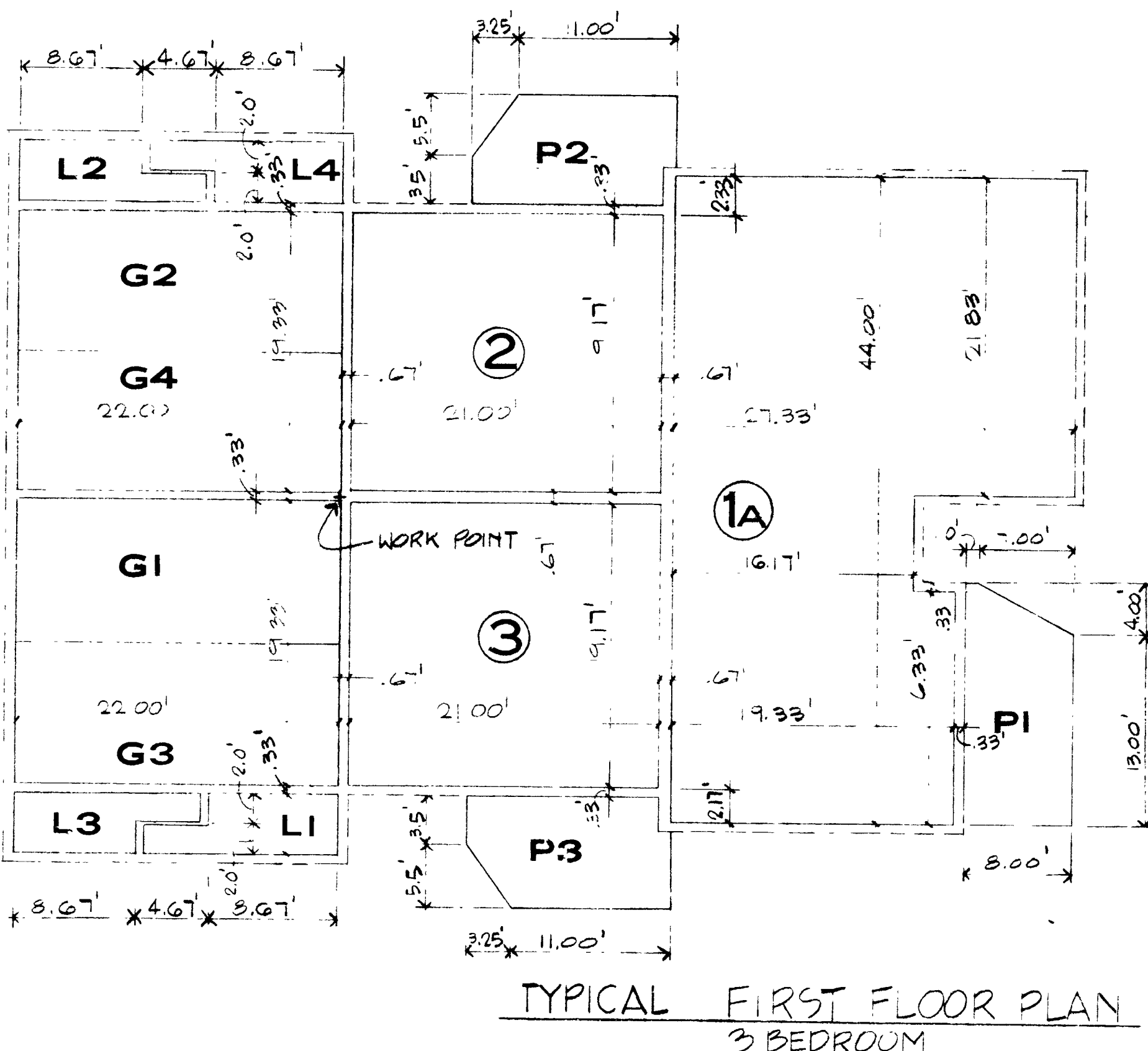
BASIS OF BEARINGS

ALL BEARINGS USED ARE BASED ON THE BEARING OF N0°19'10"E AS THE CENTERLINE OF 43RD AVENUE AS SHOWN ON THE PLAT OF WOODMAR IV AS RECORDED IN BK 152 PAGE 42, M.C.R.
THE NORTH/SOUTH AXIS OF EACH BUILDING HAS A BEARING OF N0°19'10"E
THE EAST/WEST AXIS OF EACH BUILDING HAS A BEARING OF N89°40'50"W

DATE	BY	HRS



TYPICAL SECOND FLOOR PLAN

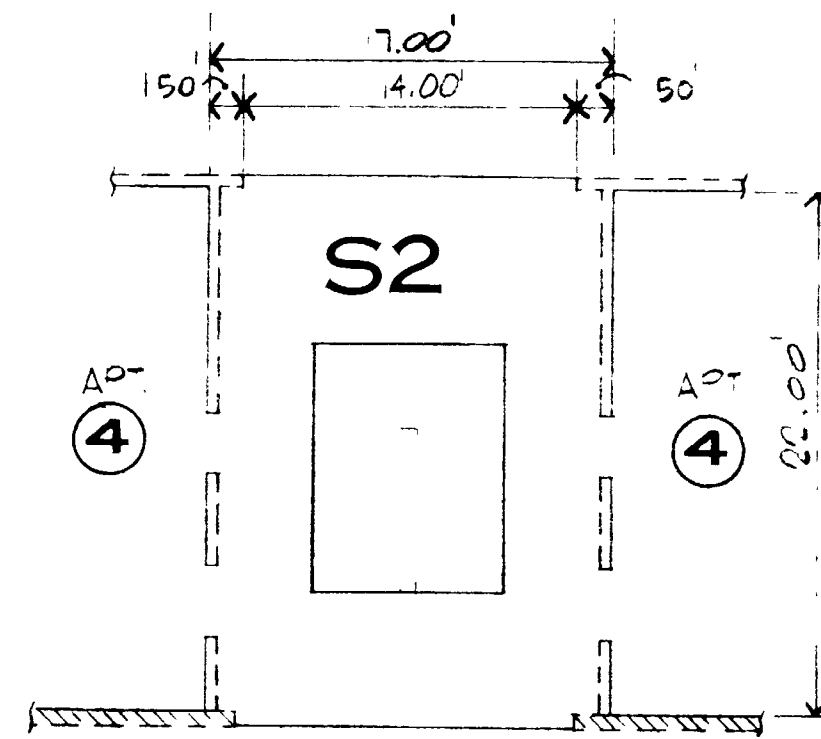


TYPICAL FIRST FLOOR PLAN 3 BEDROOM

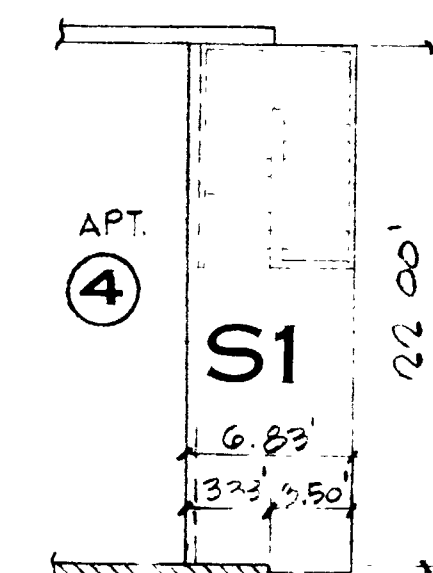
SECOND FLOOR
FIRST FLOOR

FINISHED CEILING
FINISHED FLOOR
SCHEDULE

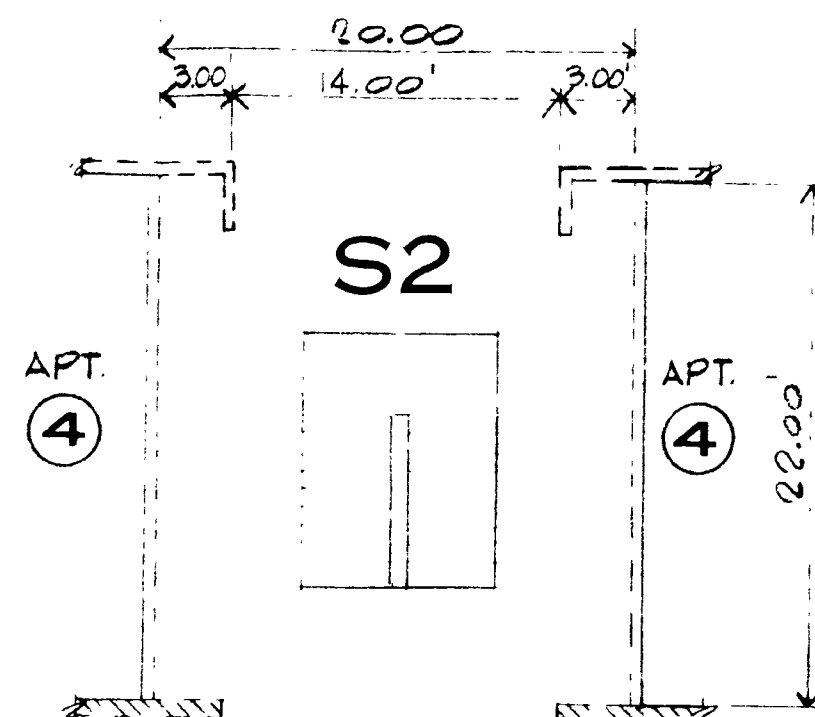
TYPICAL SIDE VIEW



STAIR PLAN S2
AT CONNECTED BUILDINGS
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



STAIR PLAN S1
AT SINGLE BUILDING
SCALE: 1/8" = 1'-0"



STAIR PLAN S2
AT CONNECTED BUILDINGS
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

ELEVATIONS OF HORIZONTAL PLANES OF UPPER AND LOWER BOUNDARIES OF DWELLING UNITS

PROFILE		ELEVATION		SCHEDULE	
BLDG.	APT.	FLOOR ELEV./CEILING ELEV.	BLDG.	APT.	FLOOR ELEV./CEILING ELEV.
1	1A	1089.40 / 1097.36	14	1A	1091.30 / 1099.36
1	2A	1089.40 / 106.05	14	2A	1091.30 / 107.45
1	4	1098.04 / 106.05	4	4	1098.04 / 107.95
2	1A	1090.40 / 1098.36	15	1A	1091.00 / 1098.96
2	2A	1090.40 / 107.05	15	2A	1091.00 / 107.65
2	4	1099.09 / 107.05	4	4	1099.09 / 107.65
3	1A	1090.60 / 1098.56	16	1A	1091.00 / 1098.96
3	2A	1090.60 / 107.25	16	2A	1091.00 / 107.65
3	4	1099.29 / 107.25	4	4	1099.29 / 107.65
4	1	1090.80 / 1098.76	17	1A	1089.67 / 1097.63
4	2A	1090.80 / 107.45	17	2A	1089.67 / 106.32
4	4	1099.49 / 107.45	4	4	1099.49 / 107.95
5	1	1090.80 / 1098.76	18	1A	1089.67 / 1097.63
5	2A	1090.80 / 107.45	18	2A	1089.67 / 106.32
5	4	1099.49 / 107.45	4	4	1099.49 / 107.95
6	1A	1090.80 / 1098.76	19	1A	1091.00 / 1098.96
6	2A	1090.80 / 107.45	19	2A	1091.00 / 107.65
6	4	1099.49 / 107.45	4	4	1099.49 / 107.95
7	1	1090.80 / 1098.76	20	1A	1091.25 / 1099.21
7	2A	1090.80 / 107.45	20	2A	1091.25 / 107.90
7	4	1099.49 / 107.45	4	4	1099.49 / 107.90
8	1A	1090.60 / 1098.56	21	1A	1091.25 / 1099.21
8	2A	1090.60 / 107.25	21	2A	1091.25 / 107.90
8	4	1099.29 / 107.25	4	4	1099.49 / 107.90
9	1A	1089.40 / 1097.36	22	1A	1090.00 / 1097.96
9	2A	1089.40 / 106.05	22	2A	1090.00 / 106.65
9	4	1098.05 / 106.05	4	4	1098.05 / 106.65
10	1A	1089.40 / 1097.36	23	1A	1090.00 / 1097.96
10	2A	1089.40 / 106.05	23	2A	1090.00 / 106.65
10	4	1098.05 / 106.05	4	4	1098.05 / 106.65
11	1	1090.95 / 1098.91	24	1	1090.90 / 1097.86
11	2A	1090.95 / 107.60	24	2A	1090.90 / 106.55
11	4	1099.64 / 107.64	4	4	1099.59 / 106.55
12	1	1090.80 / 1098.76	25	1A	1089.90 / 1097.86
12	2A	1090.80 / 107.45	25	2A	1089.90 / 106.55
12	4	1099.49 / 107.45	4	4	1099.59 / 106.55
13	1	1091.30 / 1099.36	26	1A	1090.00 / 1097.96
13	2A	1091.30 / 107.95	26	2A	1090.00 / 106.65
13	4	1099.99 / 107.95	4	4	1099.69 / 106.65
27	1A	1090.25 / 1098.21	30	1A	1091.30 / 1099.36
27	2A	1090.25 / 106.90	30	2A	1091.30 / 107.95
27	4	1098.94 / 106.90	4	4	1098.99 / 107.95
28	1	1091.25 / 1099.21	31	1	1090.25 / 1098.21
28	2A	1091.25 / 107.90	31	2A	1090.25 / 106.90
28	4	1098.94 / 106.90	4	4	1098.94 / 106.90
29	1	1091.25 / 1099.21	32	1A	1091.30 / 1099.36
29	2A	1091.25 / 107.90	32	2A	1091.30 / 107.95
29	4	1098.94 / 106.90	4	4	1098.99 / 107.95
30	1	1090.25 / 1098.21	33	1	1090.25 / 1098.21
30	2A	1090.25 / 106.90	33	2A	1090.25 / 106.90
30	4	1098.94 / 106.90	4	4	1098.94 / 106.90
31	1	1090.25 / 1098.21	34	1	1090.25 / 1098.21
31	2A	1090.25 / 106.90	34	2A	1090.25 / 106.90
31	4	1098.94 / 106.90	4	4	1098.94 / 106.90
32	1	1090.25 / 1098.21	35	1	1090.25 / 1098.21
32	2A	1090.25 / 106.90	35	2A	1090.25 / 106.90
32	4	1098.94 / 106.90	4	4	1098.94 / 106.90
33	1	1089.90 / 1097.86	36	1A	1090.00 / 1098.96
33	2A	1089.90 / 106.55	36	2A	1090.00 / 106.65
33	4	1098.59 / 106.55	4	4	1098.59 / 106.65
34	1	1090.25 / 1098.21	37	1	1090.40 / 1098.36
34	2A	1090.25 / 106.90	37	2A	1090.40 / 107.05
34	4	1098.59 / 106.55	4	4	1099.09 / 107.05
35	1	1090.25 / 1098.21	38	1	1090.40 / 1098.36
35	2A	1090.25 / 106.90	38	2A	1090.40 / 107.05
35	4	1098.59 / 106.55	4	4	1099.09 / 107.05

- LEGEND**
- 24 BUILDING NUMBER
 - ③ APARTMENT NUMBER
 - G AREAS FOR GARAGE PURPOSES
 - L AREAS FOR LAUNDRY PURPOSES
 - P AREAS FOR PATIO PURPOSES
 - S AREAS FOR STAIRWAY PURPOSES
 - INTERIOR FACE OF STUD
 - - - - - EXTERIOR FACE OF BLDG.

BENCHMARK
 B.C. IN H.H. AT CENTERLINE INTERSECTION OF THOMAS RD.
 443RD AVE. ELEV. 1094.03

252238

STATE OF ARIZONA
 County of Maricopa
 I hereby certify that the within
 instrument was filed and the
 copies are required of
 Haver, Nunn & Nelson
 SEP 26 1972
 in Book 154
 on page 30
 Witness my hand and official
 seal this day and year above
 1972
 County Recorder
 Deputy Recorder