

GARAGE ENCLOSURE GUIDELINES AND DESIGN STANDARDS

FOR

CENTURY PLACE TOWNHOME CORPORATION

11423 North 56th Street

Phoenix, Arizona

December, 1987

(A Homeowner desiring to enclose his/her carport must place a request, in writing, for a meeting with the Architectural Committee by sending the request to 11416 North Century Lane, Scottsdale, Arizona, 85254. For further information concerning these Guidelines, phone (602) 483-0218. A reminder: No one is required to enclose the carport; it is optional on the part of each Homeowner.)

FILE THESE GUIDELINES WITH YOUR CCR'S.

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FOR  
CENTURY PLACE TOWNHOME CORPORATION  
PHOENIX, ARIZONA

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CENTURY PLACE TOWNHOME CORPORATION

SECTION 1

INTRODUCTION

- A. To continue the continuity of the character established at Century Place Townhome Corporation and to insure the identity of Century Place Townhome Corporation distinctive neighborhood appearance, all garage enclosures will conform to these Guidelines and Design Standards. These standards create a garage enclosure that will enhance the visual continuity of the Century Place Townhome Corporation neighborhood as a whole.
- B. Materials, garage door appearance and colors will be limited to a selected palette, as described or noted in these standards.
- C. These Guidelines and Design Standards establish the framework for a cohesive visual element in the garage enclosures that help to protect and add to the value of each of the residences of the Century Place Townhome Corporation.
- D. All construction work must conform to all applicable codes and standards including the City of Phoenix Building Code. It is the Owners responsibility to meet all applicable Building Codes.

CENTURY PLACE TOWNHOME CORPORATION

SECTION 2

REVIEW PROCEDURES

- A. The Architectural Committee will consist of the Officers of the Century Place Townhome Corporation. In addition, other members may be appointed by the Board of Directors from time to time. All requests for garage enclosures must be reviewed and approved by the Architectural Committee prior to construction.
- B. The Architectural Committee shall meet with the Owner to review the Guidelines and Design Standards, and explain them to the Owner.
- C. All construction of the garage enclosure must be in accordance with these Guidelines and Design Standards.
- D. Any construction not specifically approved by the Architectural Committee must be approved, modified or removed as required by the Architectural Committee at the Owner's expense.
- E. The Architectural Committee is responsible for determining if the proposed construction is consistent with the Guidelines and Design Standards. The Owner assumes all liability and responsibility for proper engineering, design, construction, applicable city, state, or county permits and approvals, and the Architectural Committee shall have no duty or responsibility for any of these.
- F. The Architectural Committee may change and/or delete any of the preceding rules and procedures as it deems necessary to apply or enforce the rules and standards.
- G. The Architectural Committee will retain the services of a licensed Architect for an on site inspection at the time when the enclosure project is approximately half-way complete. It is the responsibility of the project owner to notify the Architectural Committee chairperson when the half-way mark will be reached. The expense for said inspection will be paid for by the owner and will not exceed \$100.00.

CENTURY PLACE TOWNHOME CORPORATION

SECTION 3

GUIDELINES AND DESIGN STANDARDS

FOR GARAGE ENCLOSURES

A. ARCHITECTURAL CHARACTER

1. Garage enclosures shall comply with the following:

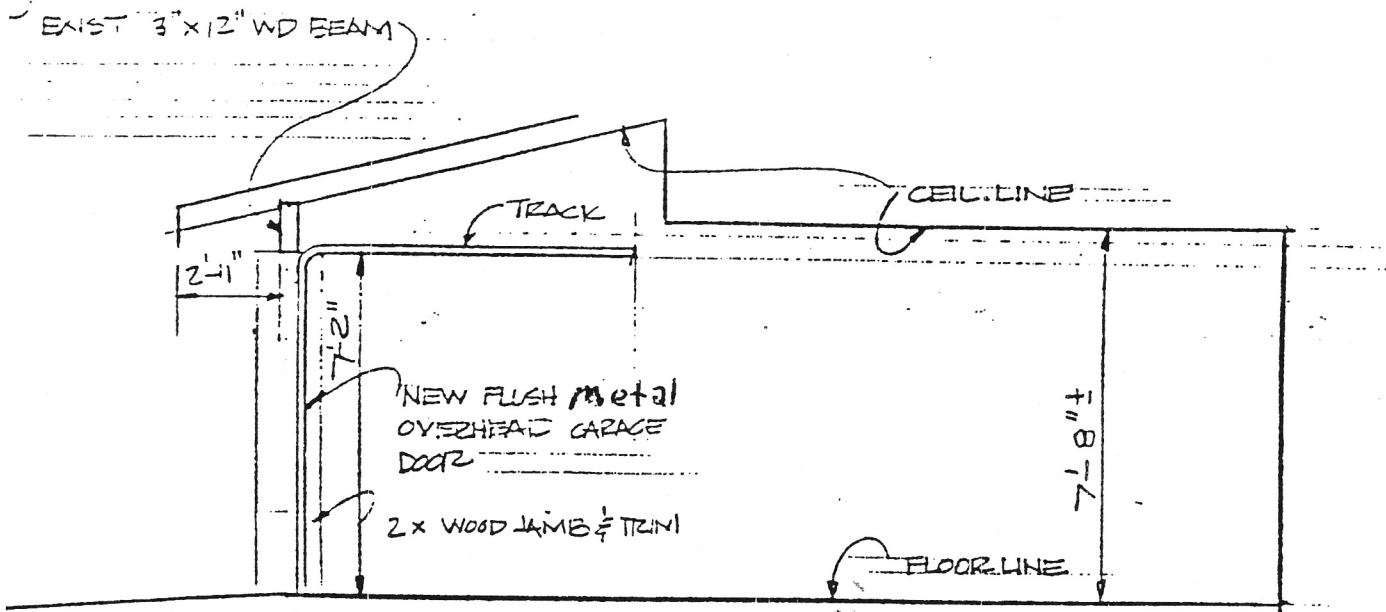
- A. Garage Door: Overhead ~~metal~~ door - flush panel, no glazing. Width of door to match existing carport openings. Color to be Navajo White with Dark Brown jamb and head trim. Detail at garage door head shall be as shown in Exhibit "A". Garage door to have automatic opener with remote control. See Exhibit "C" for Garage Door Elevation.
- B. New Enclosure Walls: Garage enclosure walls shall be of wood frame construction consisting of wood studs 16" o.c. with 5/8" fire rated gypsum board on the interior surface and the exterior surface prepared for wood or stucco finish material. Material and color to match adjacent walls of unit. Design shall be as shown in Exhibit "B".
- C. New Garage Side Door: New garage side door shall be 3'-0" x 6'-8", metal door and metal frame. Color of door and frame to match adjacent wall. See Exhibit "B" for Elevations.

B. EXISTING UTILITY ROOM

- 1. Provide new combustion air grille for existing Hot Water Heater as required.

CENTURY PLACE TOWNHOME CORPORATION

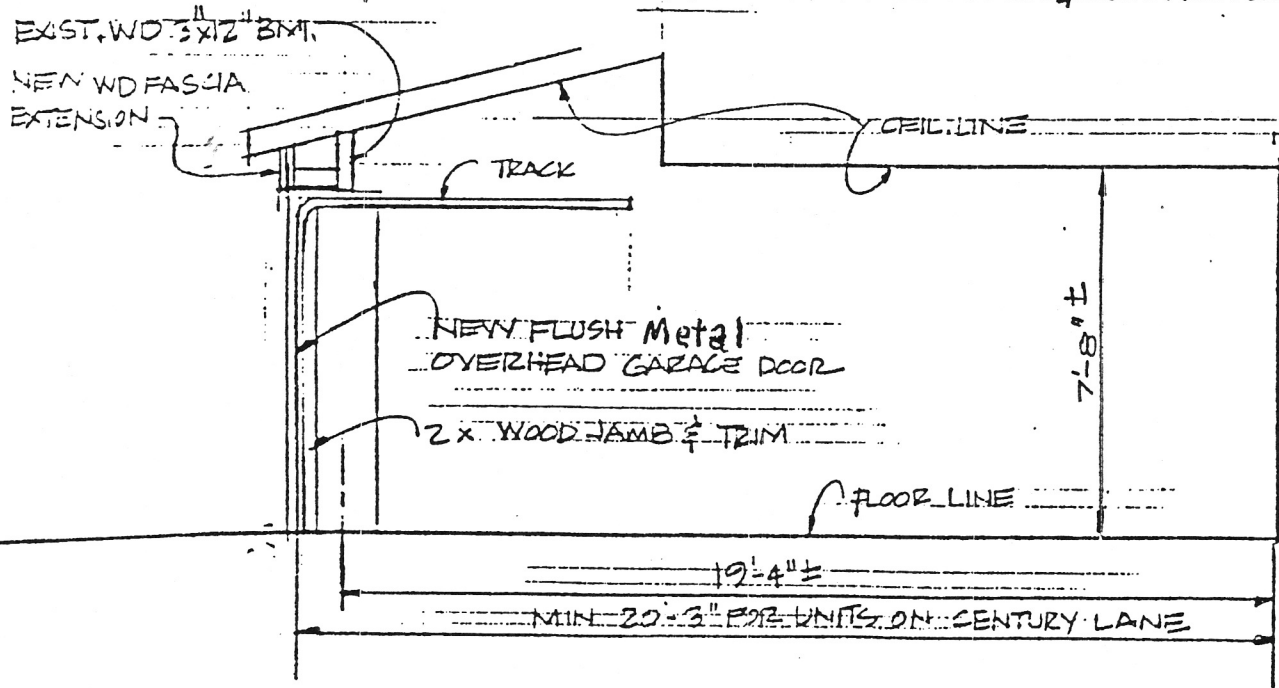
SECTION 3 - EXHIBIT A



MIN. 20'-3" FOR UNITS FACING 56TH ST.

SECTION @ CARPORT (NO SCALE)

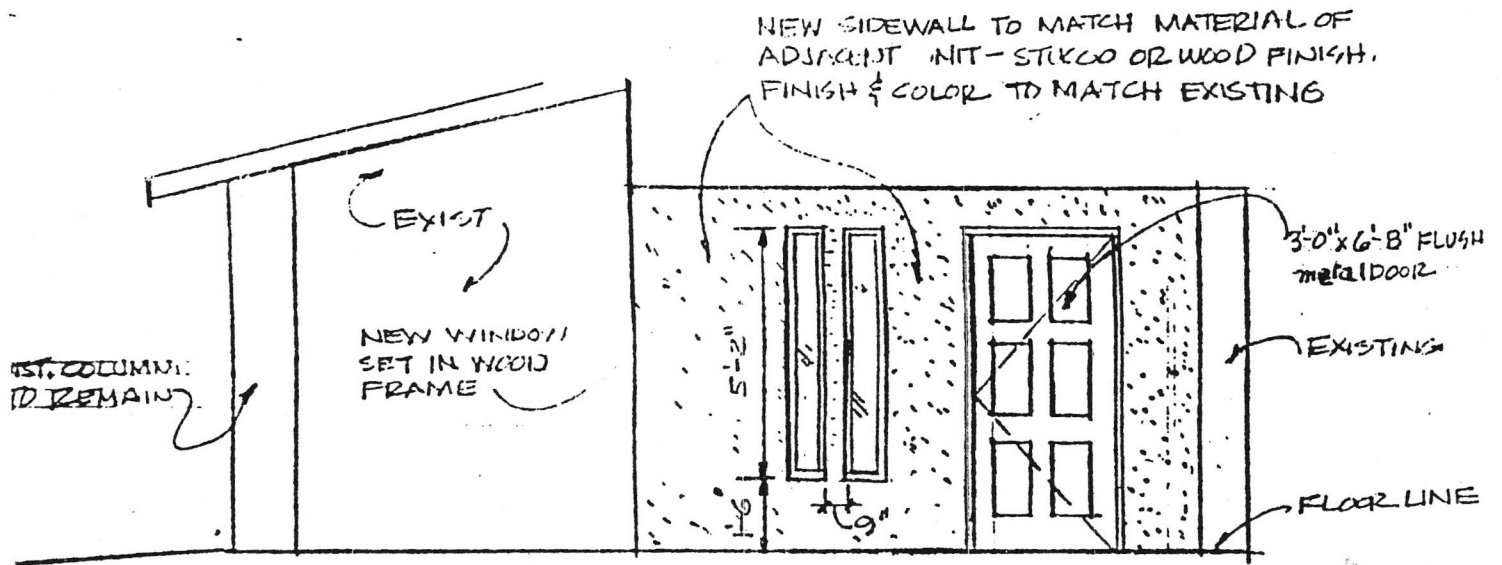
NOTE: VERIFY ALL DIM'S & CONDITIONS.



SECTION @ CARPORT (NO SCALE)

NOTE: VERIFY ALL DIM'S & CONDITIONS

SECTION 3 - EXHIBIT B



SIDE WALL - OPTION 1 (1/30 SCALE)

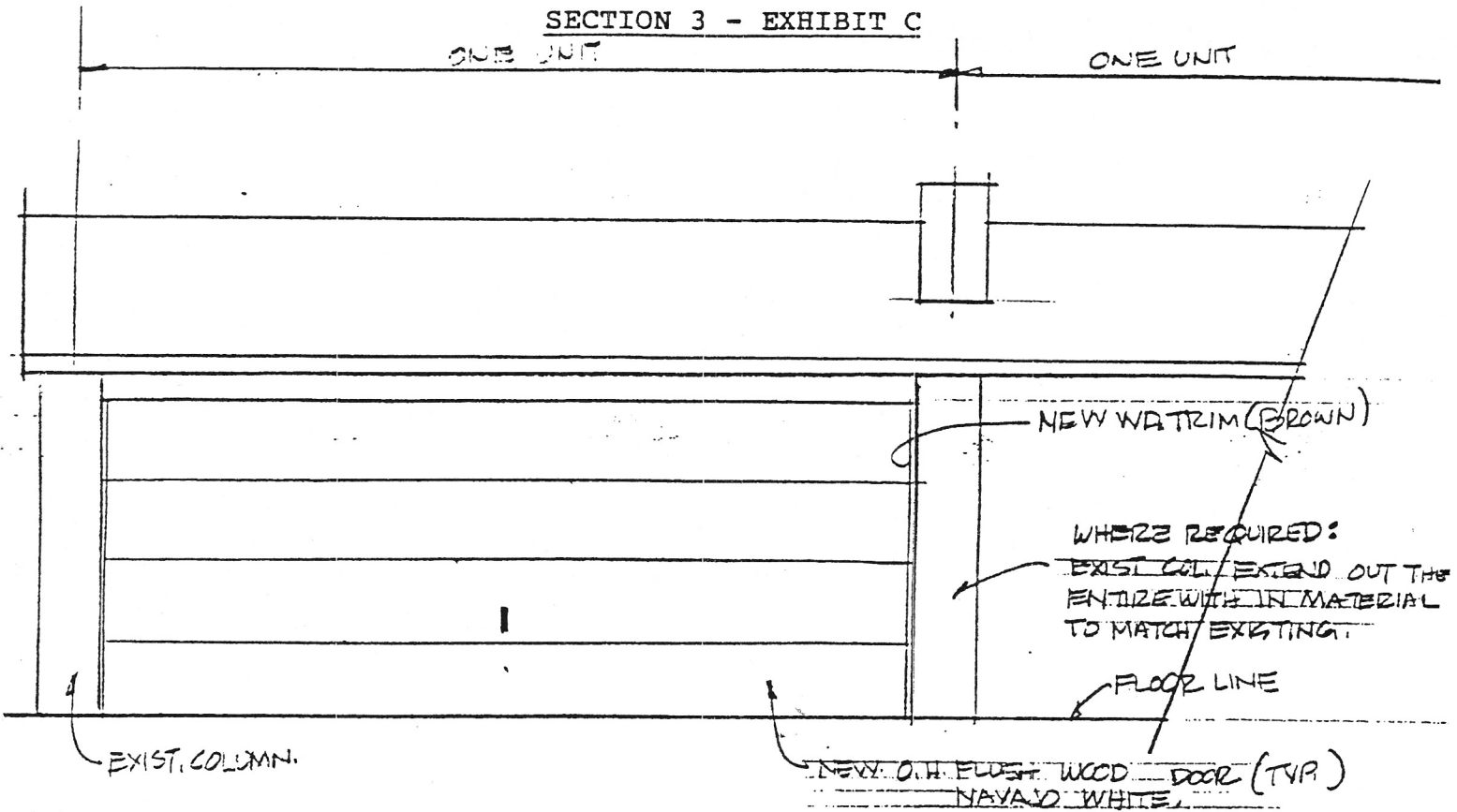
REAR WALL SIMILAR (NO DOOR OR WINDOW)

CENTURY PLACE TOWNHOME CORPORATION

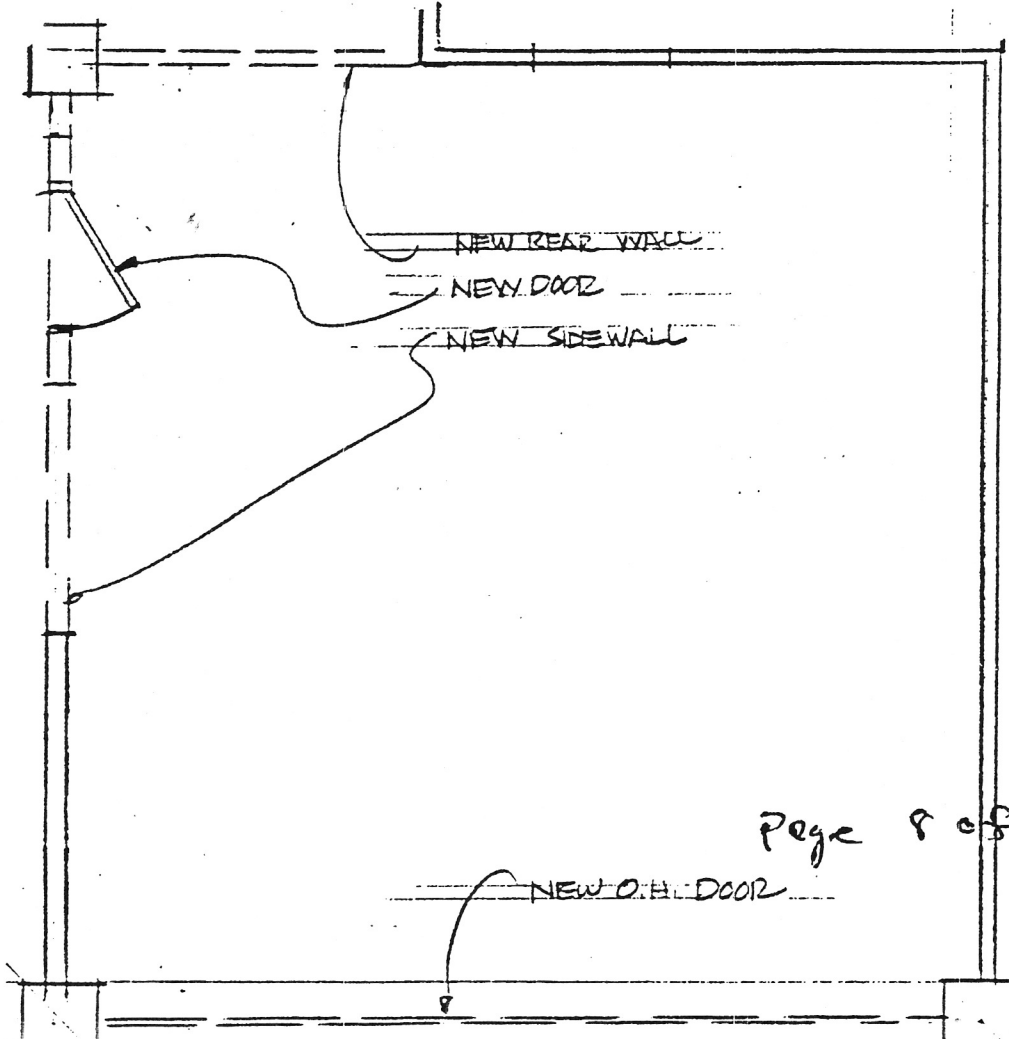
SECTION 3 - EXHIBIT C

ONE UNIT

ONE UNIT



GARAGE DOOR ELEVATION (NO SCALE)



FLOOR PLAN -  
(NO SCALE)



CENTURY PLACE TOWNHOME CORPORATION

SECTION 4

CONSTRUCTION POLICIES

A. INTRODUCTION

These Construction Policies shall apply to all persons and firms engaged in or responsible for the construction or development of the Garage Enclosure at Century Place Townhome Corporation. All contractors shall be responsible for compliance with these policies by all persons and firms employed or otherwise permitted access by such contractors, including all employees, agents, subcontractors, material suppliers, guests, etc. Century Place Townhome Corporation may monitor all construction activities for compliance with these policies and reserved the right to pass judgment upon compliance by such contractors and to enforce, amend or temporarily waive any or all policies at any time. Violations of these policies will be reported to the responsible contractor who shall take immediate action to correct the violation. If corrective action is not taken by the responsible contractor, Century Place Townhome Corporation shall have the right to suspend the work or any portion hereof; to evict the contractor and/or offending party for such time as Century Place Townhome Corporation shall deem appropriate; and/or to permanently refuse access to the contractor and/or offending party.

These policies shall be attached to and shall become a condition of all contracts, subcontracts and orders for construction activities at Century Place Townhome Corporation.

B. CONSTRUCTION SITE

1. The construction site shall be maintained in a safe clean, orderly and dust-free condition at all times. All trash, debris, mud, refuse and other undesirable material shall be collected daily, placed in suitable containers and removed from the site weekly.

2. All residents, guests, properties, streets, landscaping, etc. shall be protected at all times from construction activities including blowing or falling materials, debris and trash, safety hazards, interruptions and other nuisances caused by construction activities.
3. Except when actually required for use in construction, all materials, tools, supplies, equipment, vehicles, etc. shall be kept in the garage area.
4. Contractor shall coordinate and schedule all construction activities so as to minimize all interference, interruption and nuisance to residents and guests of Century Place Townhome Corporation. Construction hours shall be limited to normal daytime hours, unless written permission is given in advance by Century Place Townhome Corporation.

C. RESTRICTION TO JOB SITE

1. Access authorized by construction personnel shall be limited to the specific work site for which the work is authorized, during work hours only. Access to other units or common areas and facilities is prohibited at any time.

D. CONDUCT OF CONSTRUCTION WORKERS

1. All construction personnel shall maintain their appearance and conduct in an appropriate manner.
2. Artificial noisemakers such as radios, tape players, speakers, horns, fireworks, etc., are prohibited.
3. Absolutely no pets, children, alcoholic beverages, non-prescribed drugs, firearms or other weapons are permitted on any construction site at Century Place Townhome Corporation at any time.

CENTURY PLACE TOWNHOME CORPORATION

SECTION 5

OPERATING POLICIES

- A. Garage doors will remain closed at all times except during the obvious times of entering or exiting the garage. (The specific intent of this policy is to insure that garage doors do not remain open even on those occasions when the townhome occupant(s) "will be gone only for a few minutes.")
- B. In those instances where the carport has been enclosed as a garage, the Board of Directors of the Corporation will assume responsibility for painting only the exterior of the garage including the garage door, at that time when the regular painting rotation plan calls for painting the exterior of the entire unit. (It is understood that the unit owner bears the initial expense of painting the exterior of the new walls and garage door at the time of enclosing the carport, as previously stated in Section 3, Paragraph A.1.A.)